

9 September 2013

Dear Councillor

DEVELOPMENT CONTROL COMMITTEE - TUESDAY, 3RD SEPTEMBER 2013

Please find enclosed location and layout plans for the planning applications, where applicable, that are to be considered at the above meeting of the Development Control Committee.

Agenda No Item

4. **Planning applications to be determined**

- a) 13/00600/FUL - Land 60m north to the rear of 34-42 and including 42 Chorley Lane, Charnock Richard (Pages 3 - 14)
- b) 13/00560/FULMAJ - Former Discover Leisure site (Dave Barron Caravans), Chapel Lane, Coppull, Chorley (Pages 15 - 26)
- c) 13/00146/OUT - Land 20m north of 2 Clover Road/Jackson Road, Chorley (Pages 27 - 30)
- d) 13/00631/FUL - 26 Long Lane, Heath Charnock, Chorley, PR6 9EN (Pages 31 - 36)
- e) 13/00608/FUL - Group 4N land 150 metres west of Sibbering's Farm, Dawson Lane, Whittle-le-Woods (Pages 37 - 42)

Yours sincerely



Gary Hall
Chief Executive

Cathryn Filbin
Democratic and Member Services Officer
E-mail: cathryn.filbin@chorley.gov.uk
Tel: (01257) 515123
Fax: (01257) 515150

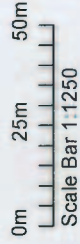
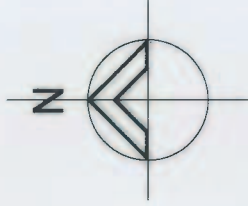
Distribution

1. Agenda and reports to all Members of the Development Control Committee.


If you need this information in a different format, such as larger print or translation, please get in touch on 515151 or chorley.gov.uk



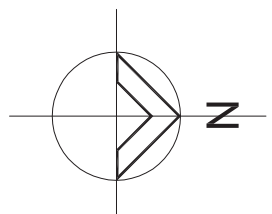
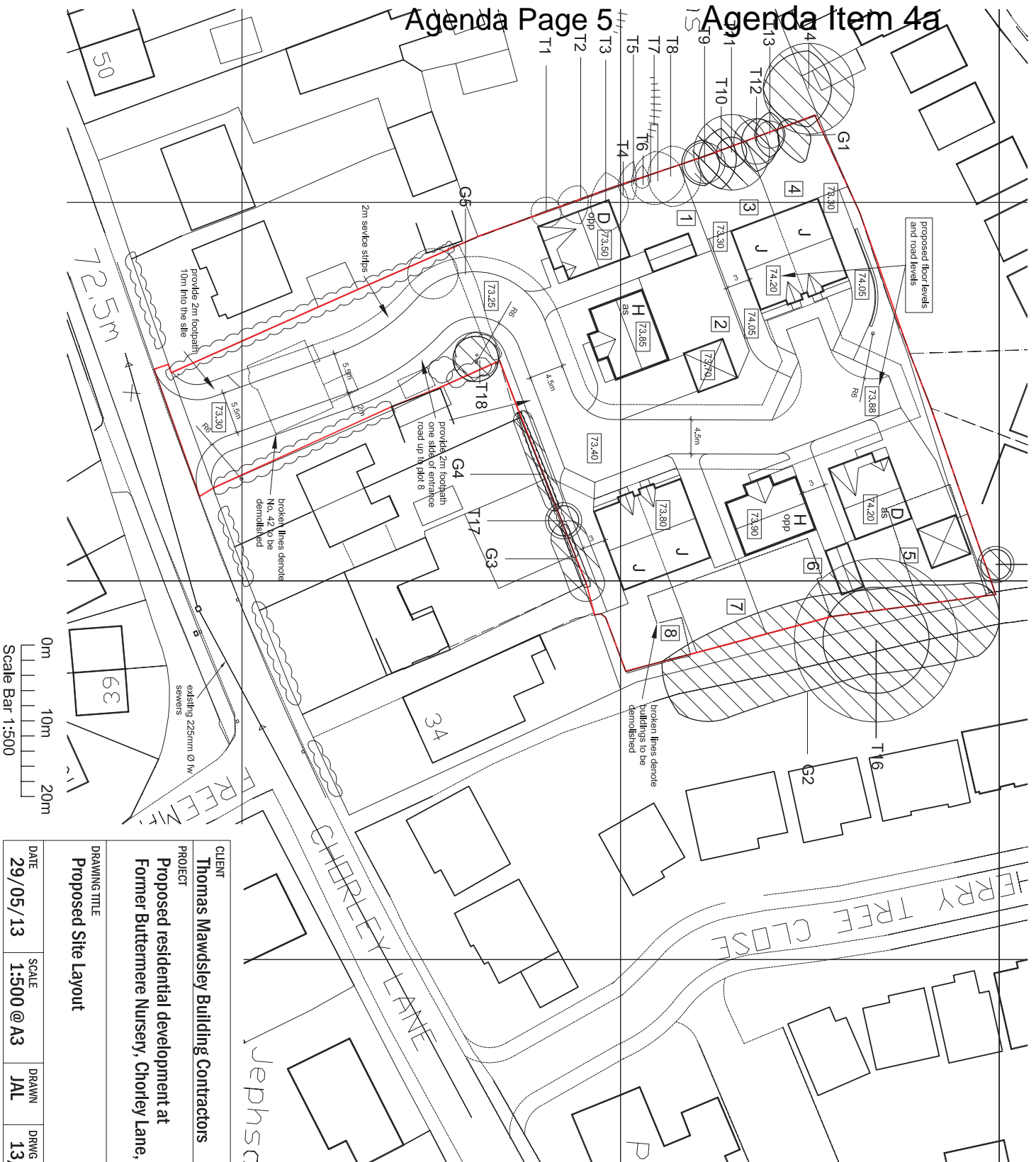
Application site area edged red = 0.395 ha
 Areas edged blue indicates adjoining land under the applicants ownership.



REVISIONS

 LMP LAND MANAGEMENT PRACTITIONERS 113 ROBERT ROAD WYTHAM WOOD SOUTHAMPTON RG2 1JN TEL: 01471 411111 FAX: 01471 411111 WWW.LMP.CO.UK			
CLIENT	Thomas Mawdsley Building Contractor		
PROJECT	Proposed residential development at Former Buttermere Nursery, Chorley Lane, Charnock Richard		
DRAWING TITLE	Location Plan		
DATE	SCALE	DRAWN	REV
10/05/13	1:1250 @ A3	asl	13/040/L01

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Schedule

J	2 bed bungalow	656 sq.ft.	4
D	4 bed house	1430 sq.ft	2
H	4 bed house	1513 sq.ft	2
Total			8

Revisions
 A : All levels now relate to O.S. datum
 B : Type G deleted; Type J introduced; garages repositioned; plot 1 handed; garages deleted on plots 3,4,7 & 8
 asl 17/06/13
 asl 21/06/13

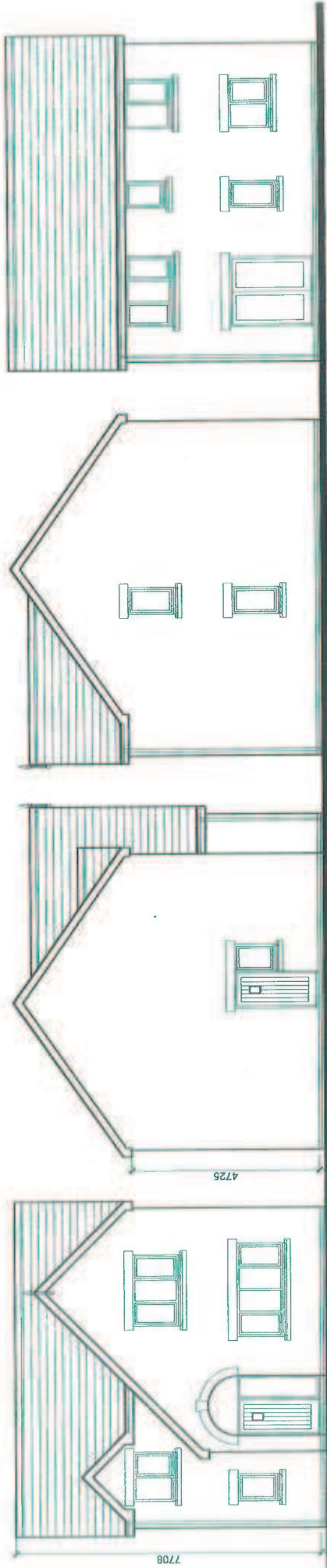
CLIENT Thomas Mawdsley Building Contractors			
PROJECT Proposed residential development at Former Buttemere Nursery, Chorley Lane, Charnock Richard			
DRAWING TITLE Proposed Site Layout			
DATE	SCALE	DRAWN	DRWG No.
29/05/13	1:500 @ A3	JAL	13/040/P01
		REV	
		B	

ARCHITECTURAL CONSULTANTS
 213 PRESTON ROAD
 WHITTLE-LE-WOODS
 CHORLEY
 LANCASHIRE
 PR6 7PS
 TEL: 01257 261555
 FAX: 01257 267224
 www.lmparchitects.co.uk

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ELEVATIONS 1:100



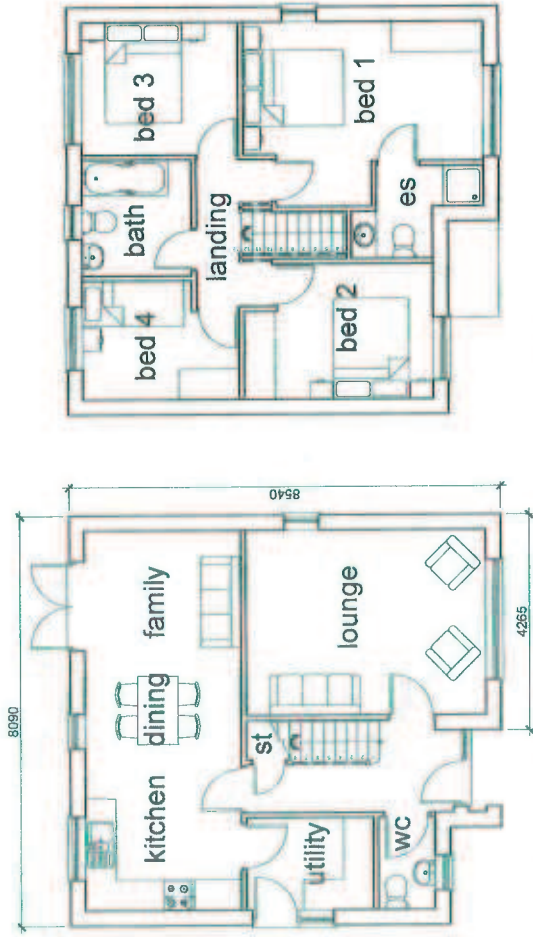
FRONT

SIDE (L)

SIDE (R)

REAR

FLOOR PLANS 1:100



GROUND FLOOR

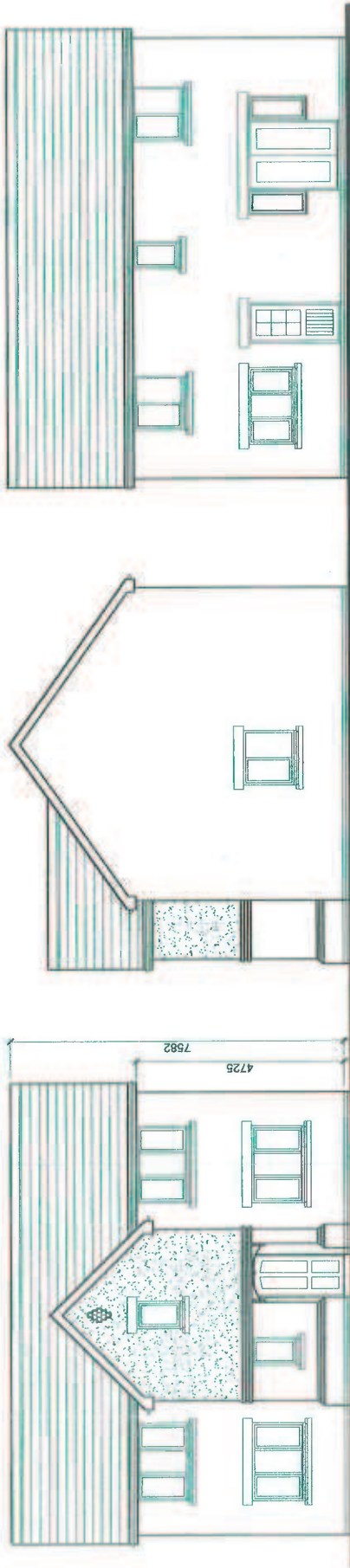
FIRST FLOOR



		213 PRESTON ROAD WHITTLE-LE-WOODS CHORLEY LANCASHIRE PR6 7PS TEL 01257 261555 FAC 01257 267224 www.lmparchitects.co.uk	
CLIENT	Thomas Mawdsley Building Contractors		
PROJECT	Proposed Residential Development at Former Buttermere Nursery, Chorley Lane, Charnock Richard		
DRAWING TITLE	House Type D - 4H1208 Proposed Plans & Elevations		
DATE	10/05/13	SCALE	1:100 @ A3
		DRAWN	JAL
		DRWG No.	13/040/P02
		REV	

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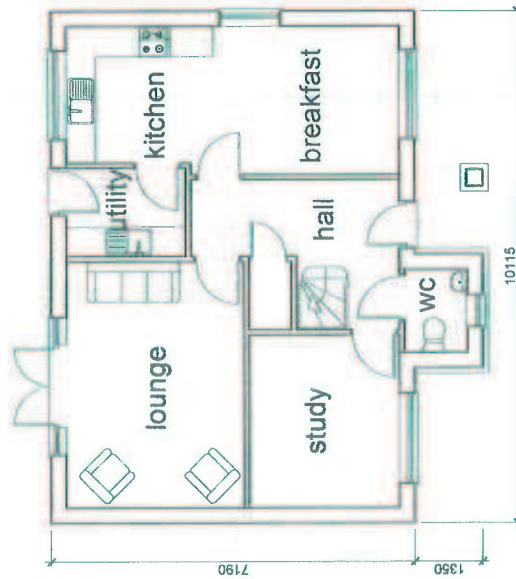
ELEVATIONS 1:100



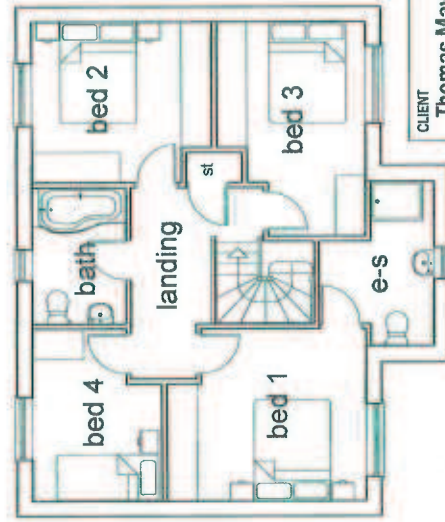
FRONT

SIDE

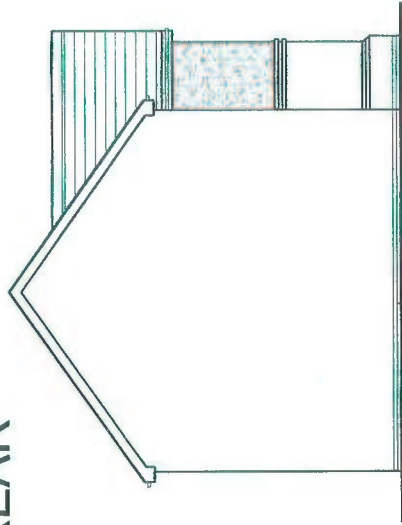
REAR



GROUND FLOOR



FIRST FLOOR



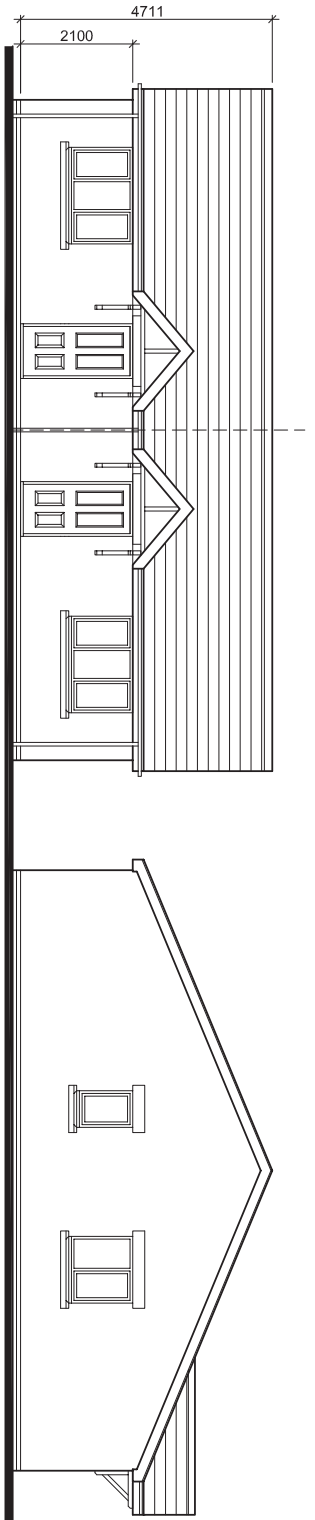
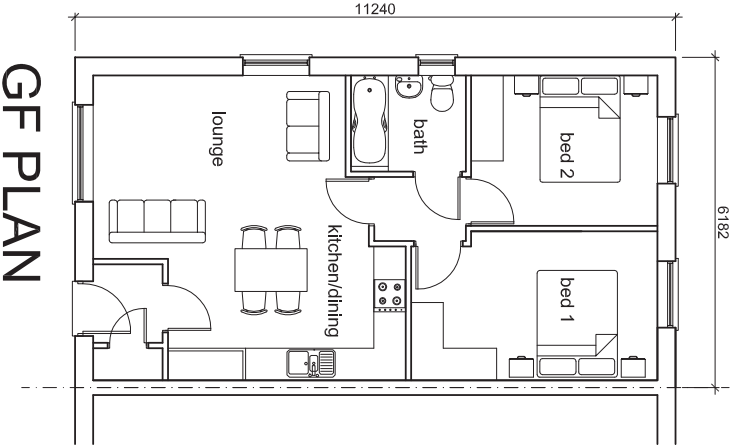
SIDE

213 PRESTON ROAD WHITTLE LE WOODS CHORLEY LANCASHIRE PR6 7PS TEL 01257 261555 FAX 01257 267224 EMAIL group@lmp213.com	
CLIENT	Thomas Mawdsley Building Contractors
PROJECT	Proposed Residential Development at Former Buttermere Nursery, Chorley Lane, Chamcock Richard
DRAWING TITLE	House Type H - 4H1420 Proposed Plans & Elevations - Plot 2 as drawn Plot 6 handed
DATE	09/05/13
SCALE	1:100 @ A3
DRAWN	JAL
DRWG No.	13/040/P04
REV	



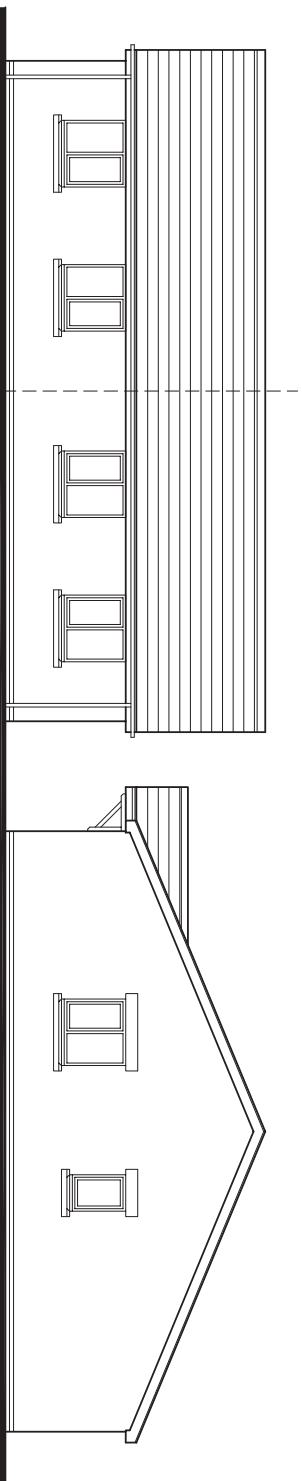
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FRONT ELEVATION

SIDE (L) ELEVATION



REAR ELEVATION

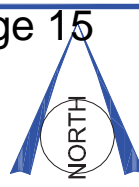
SIDE (R) ELEVATION



CLIENT Thomas Mawdsley Building Contractors		DRAWING TITLE House Type J - 2B656		DATE 20/06/13	SCALE 1:100 @ A3	DRAWN JAL	DRWG No. 13/040/P06	REV
PROJECT Proposed Residential Development at Former Buttermere Nursery, Chorley Lane, Charnock Richard		Proposed Plans & Elevations						
ARCHITECTURAL CONSULTANTS LMP 213 PRESTON ROAD WHITTLE-LE-WOODS CHORLEY LANCASHIRE PR6 7PS TEL: 01257 261555 FAX: 01257 267224 www.lmparchitects.co.uk		© Copyright Lawson Magerison Practices Ltd.						

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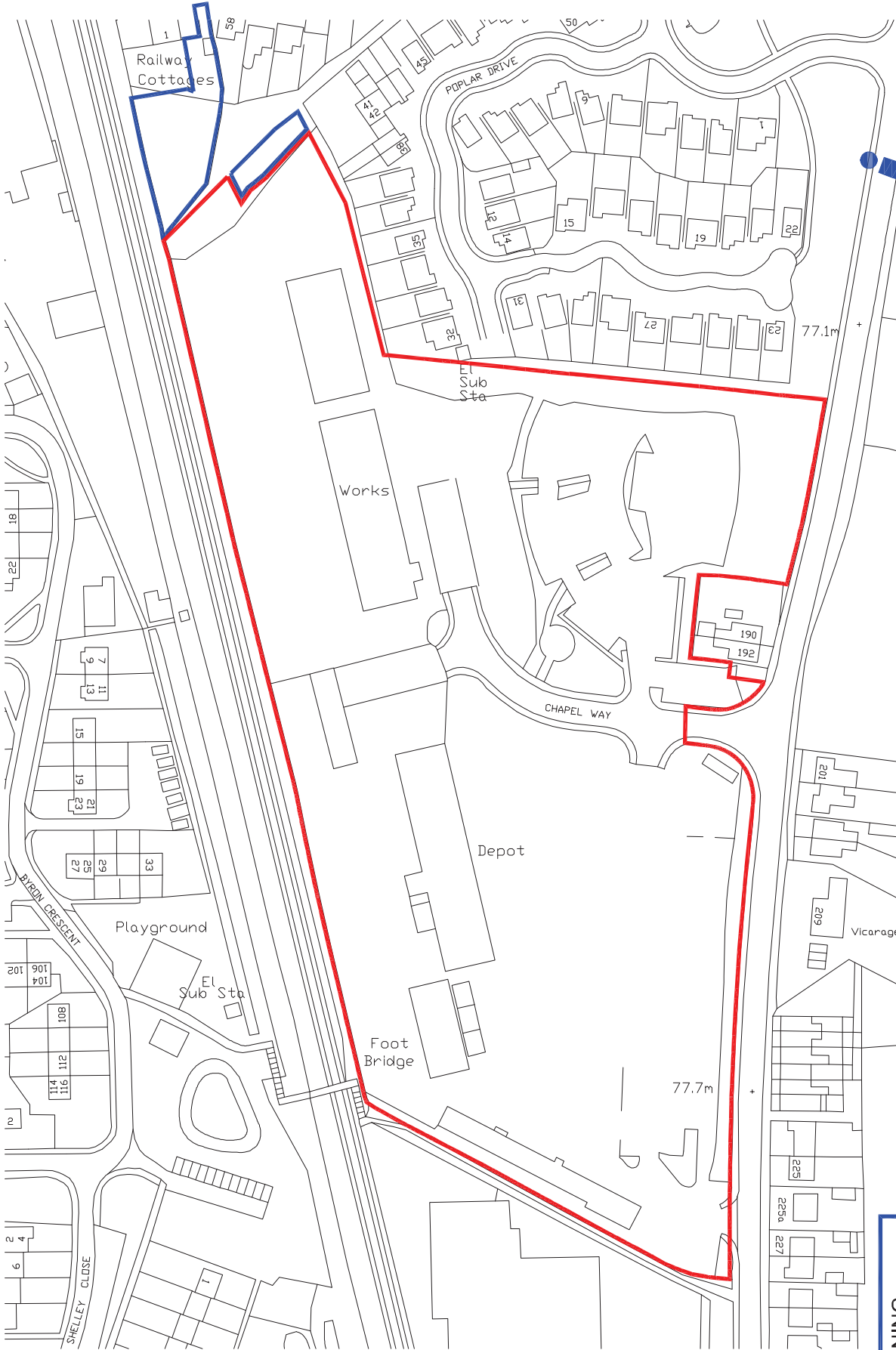
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DGL Associates Limited

Barn Meadow House
 Southgate Field Farm
 Southgate
 Burnley
 Lancashire
 BB10 3JH
 Tel: 01525 691157
 Mob: 07975 752875

Revision:	A
Drawn:	DGL/aw
Scale:	1:1250
Approved:	
Drawn:	203 Mar 2013
E-mail: dglaw@gloucestershire.gov.uk	
A3	

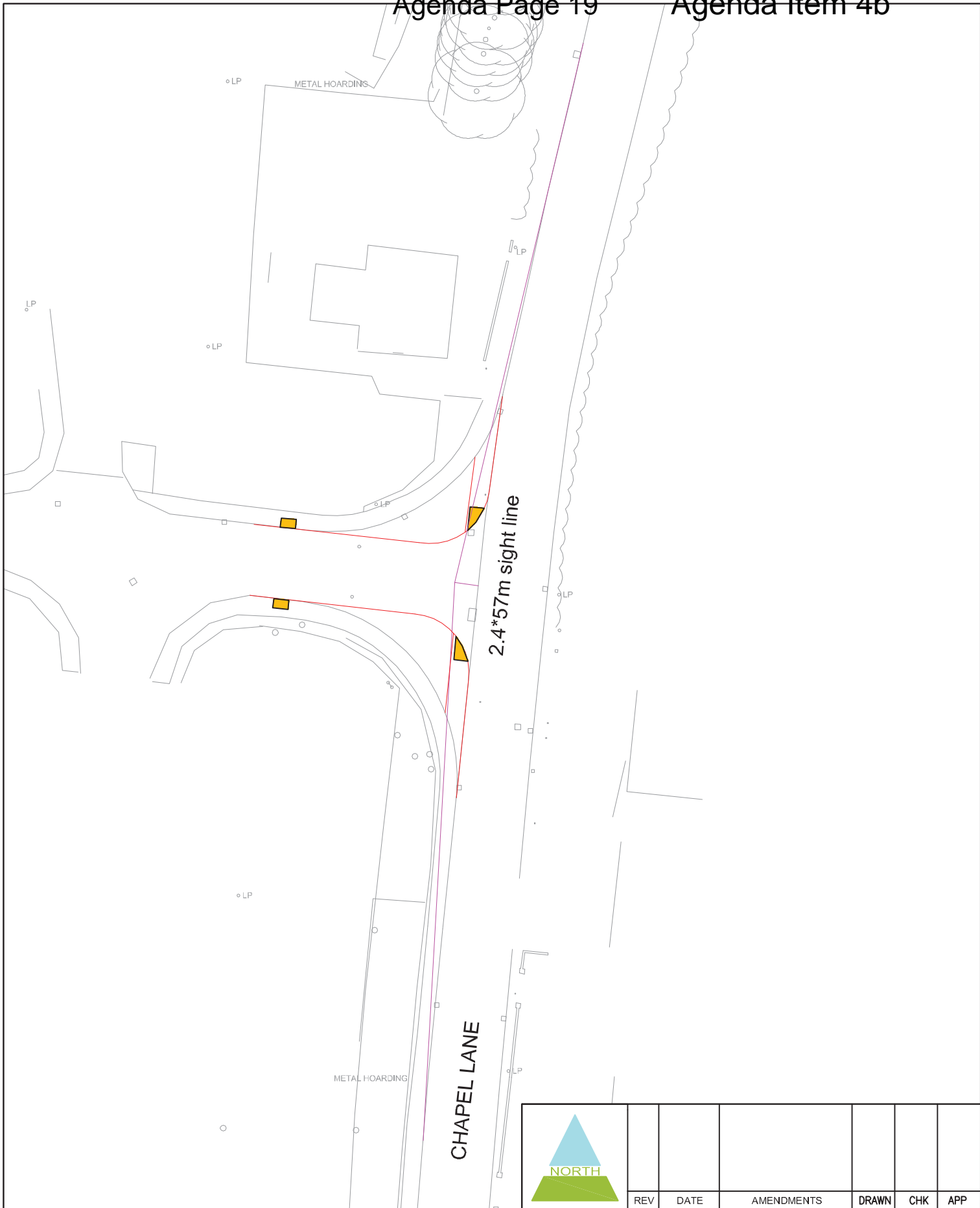


Client: SEDDON HOMES
 Project: Chapel Lane, Coppull
 Drawing Title: Location Plan
 Drawn: A
 Date: 203 Mar 2013
 Drawn by: 1248SHW/C/LC-LP01


PLANNING SUBMISSION		108	109
		110	111
A	10407	10408	10409
Rev	Date	Drawn/Checked	Issue

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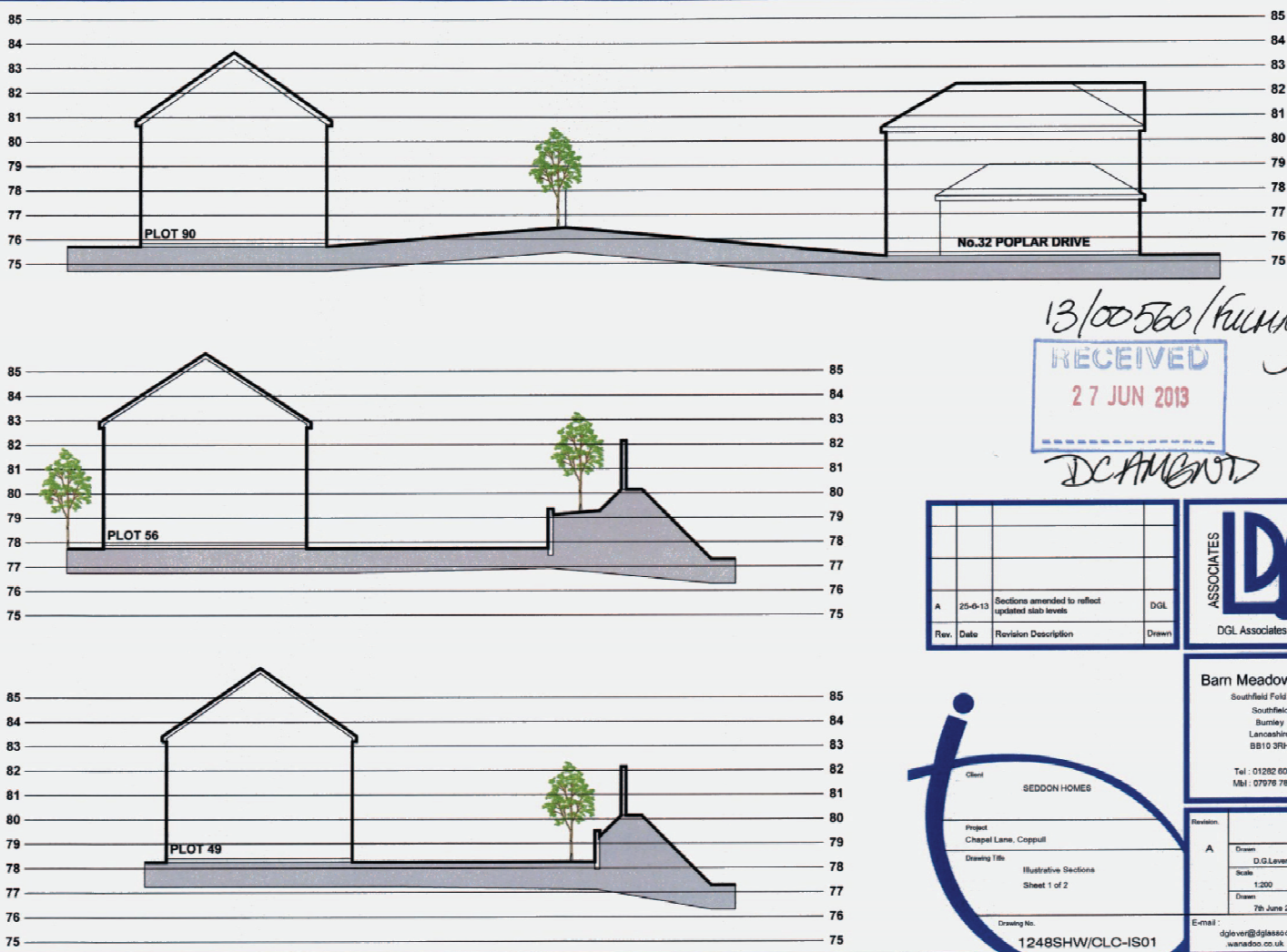


REV	DATE	AMENDMENTS	DRAWN	CHK	APP

Client Seddon Homes		Drawn AJC	Checked AD	Approved AD	Development & Transport Planning Consultancy The Studio, 3 Phillips Road Weir, Bacup Lancashire OL13 8RH  Tel: 01706 872323 Email: info@dtpc.uk.com
Project Chapel Lane, Coppull		Scale A4 Plot 1:500	Date 3/5/2013		
Title Access layout		Drawing No. J252/Access/Fig 1	Rev X		
Purpose of Issue <input type="checkbox"/> For Information <input checked="" type="checkbox"/> Preliminary		File Name X			

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13/00560/KUMAJ
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 27 JUN 2013

DCAMBERT

Rev.	Date	Revision Description	Drawn
A	25-0-13	Sections amended to reflect updated slab levels	DGL



Barn Meadow House
 Southfield Fold Farm
 Southfield
 Burnley
 Lancashire
 BB10 3RH
 Tel: 01282 801157
 Mob: 07978 782978

Client
 SEDDON HOMES

Project
 Chapel Lane, Coppull

Drawing Title
 Illustrative Sections
 Sheet 1 of 2

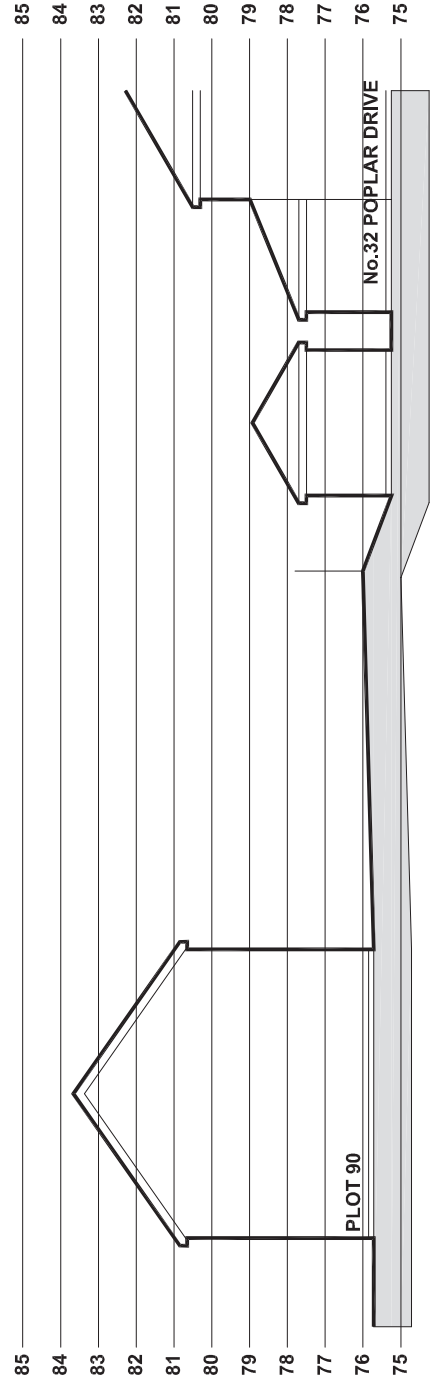
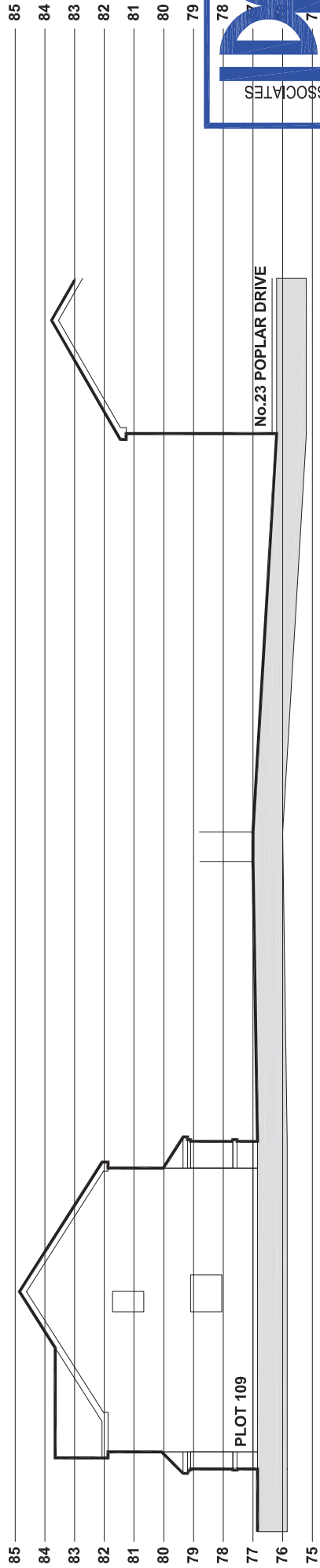
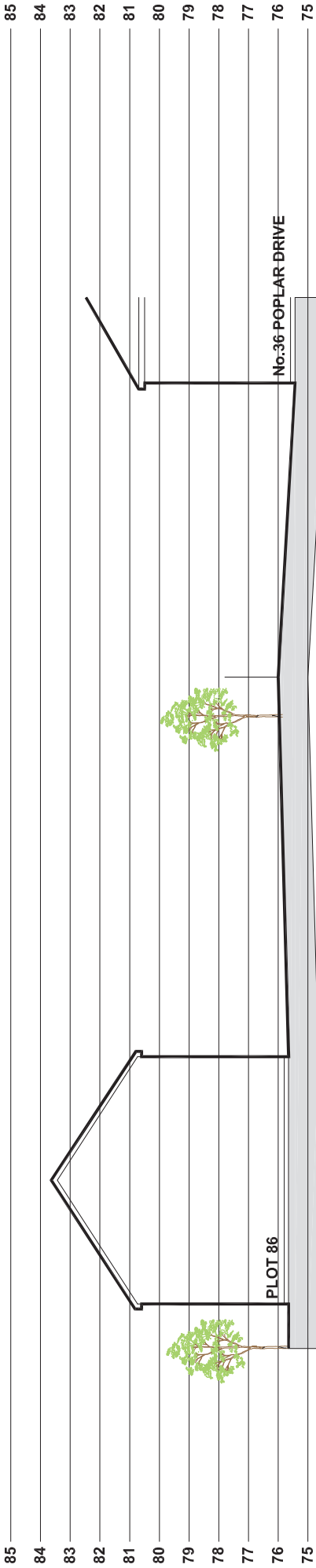
Drawing No.
 1248SHW/CLC-IS01

Revision	Drawn	Checked
A	D.G.Lever	
	Scale 1:200	Approved
	Drawn 7th June 2013	

E-mail:
 dglover@dglasso.co.uk
 www.doo.co.uk

A4

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Barn Meadow House
 Southfield Fold Farm
 Southfield
 Burnley
 Lancashire
 BB10 3RH
 Tel: 01282 601157
 Mob: 07976 782876

Revision:	-	Checked:	
Drawn:	D.G.Lover	Approved:	
Scale:	1:200	Drawn:	7th June 2013
E-mail: dgllover@dglasoc.com , wanadoo.co.uk			
A4			

Client: SEDDON HOMES

Project: Chapel Lane, Coppull

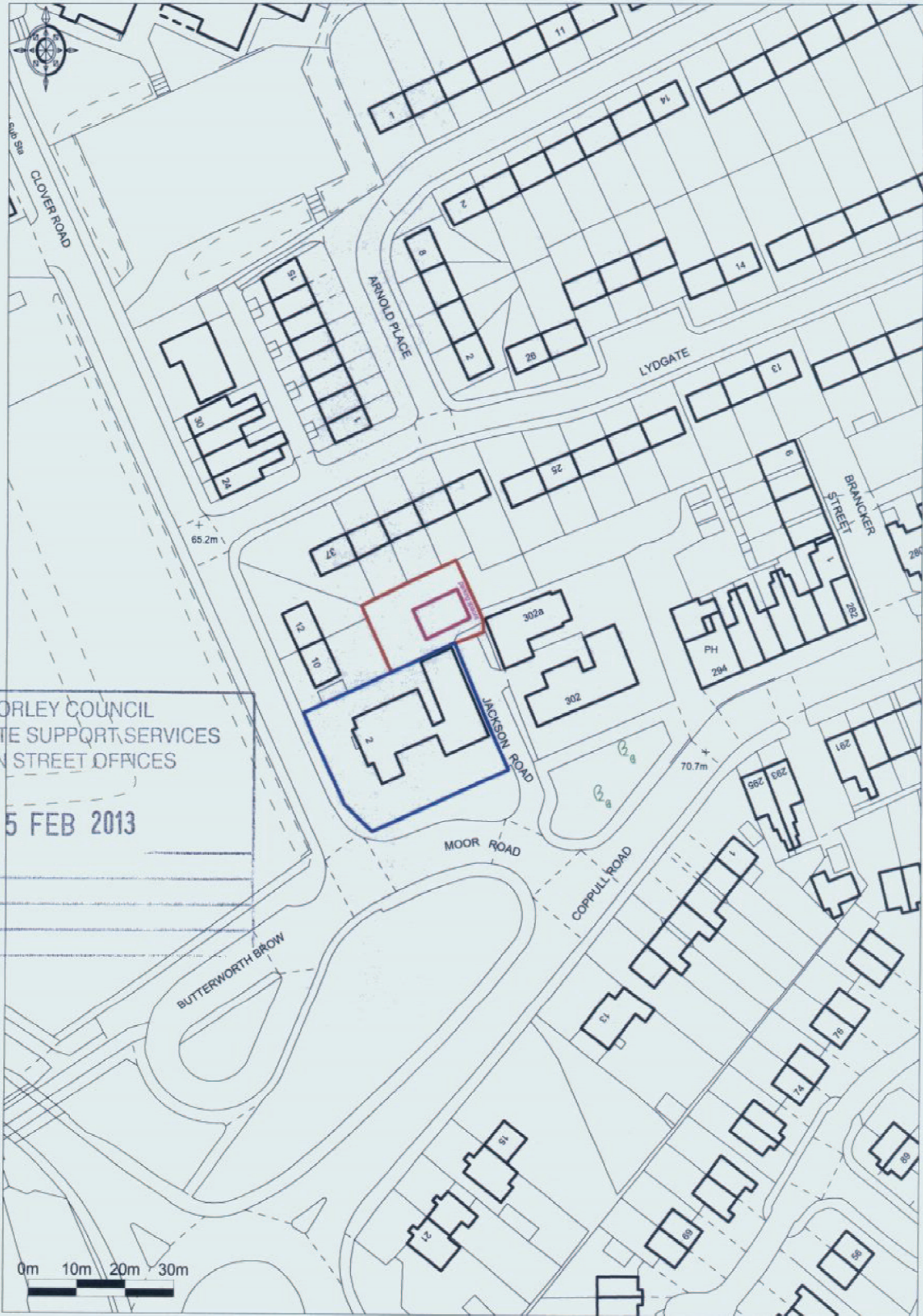
Drawing Title: Illustrative Sections Sheet 2 of 2

Drawing No. 1248SHW/CLC-IS02

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13/146

Land off Jackson Road Chorley



CHORLEY COUNCIL
 CORPORATE SUPPORT SERVICES
 UNION STREET OFFICES

REC'D 15 FEB 2013

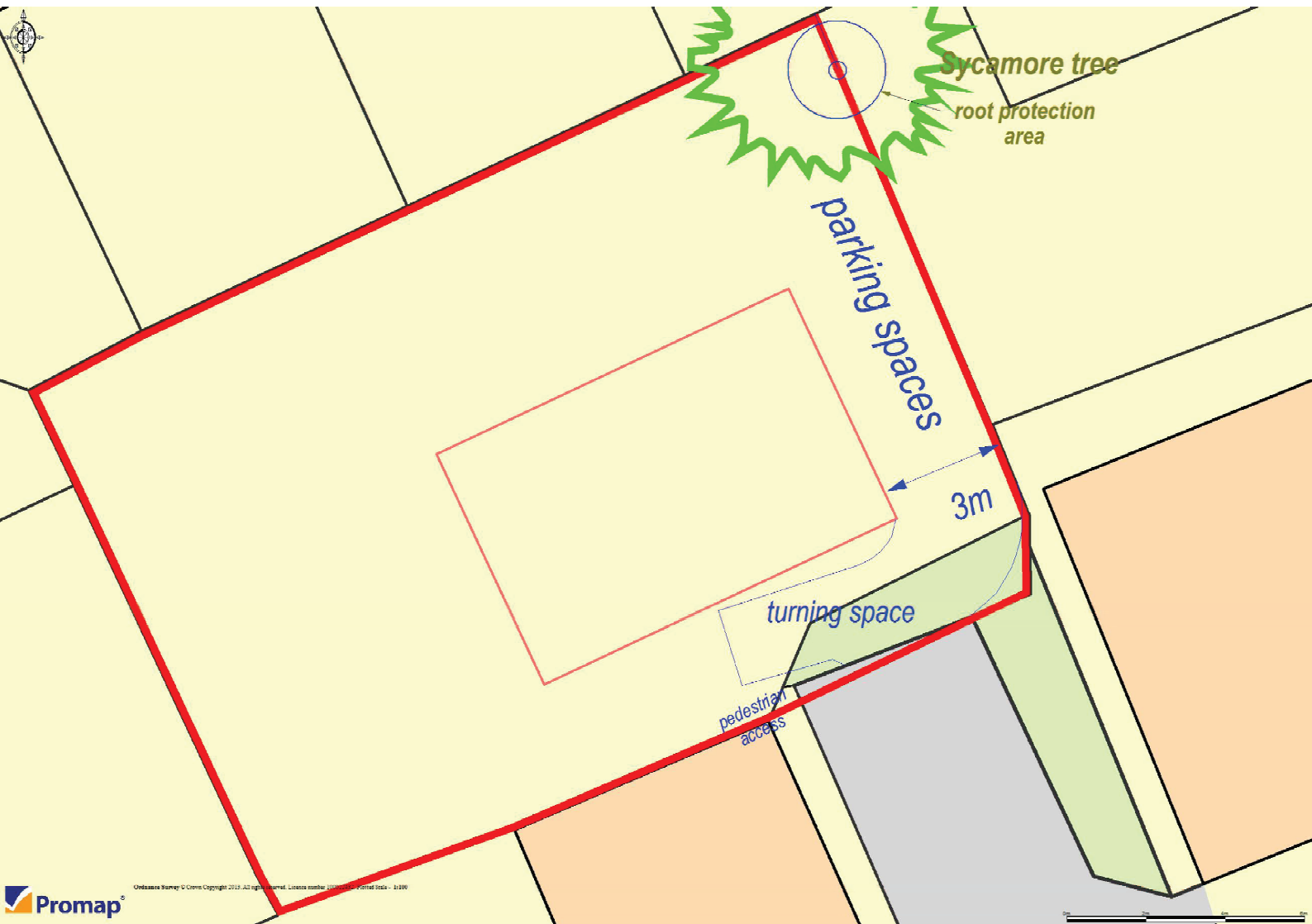
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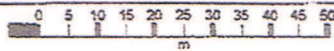
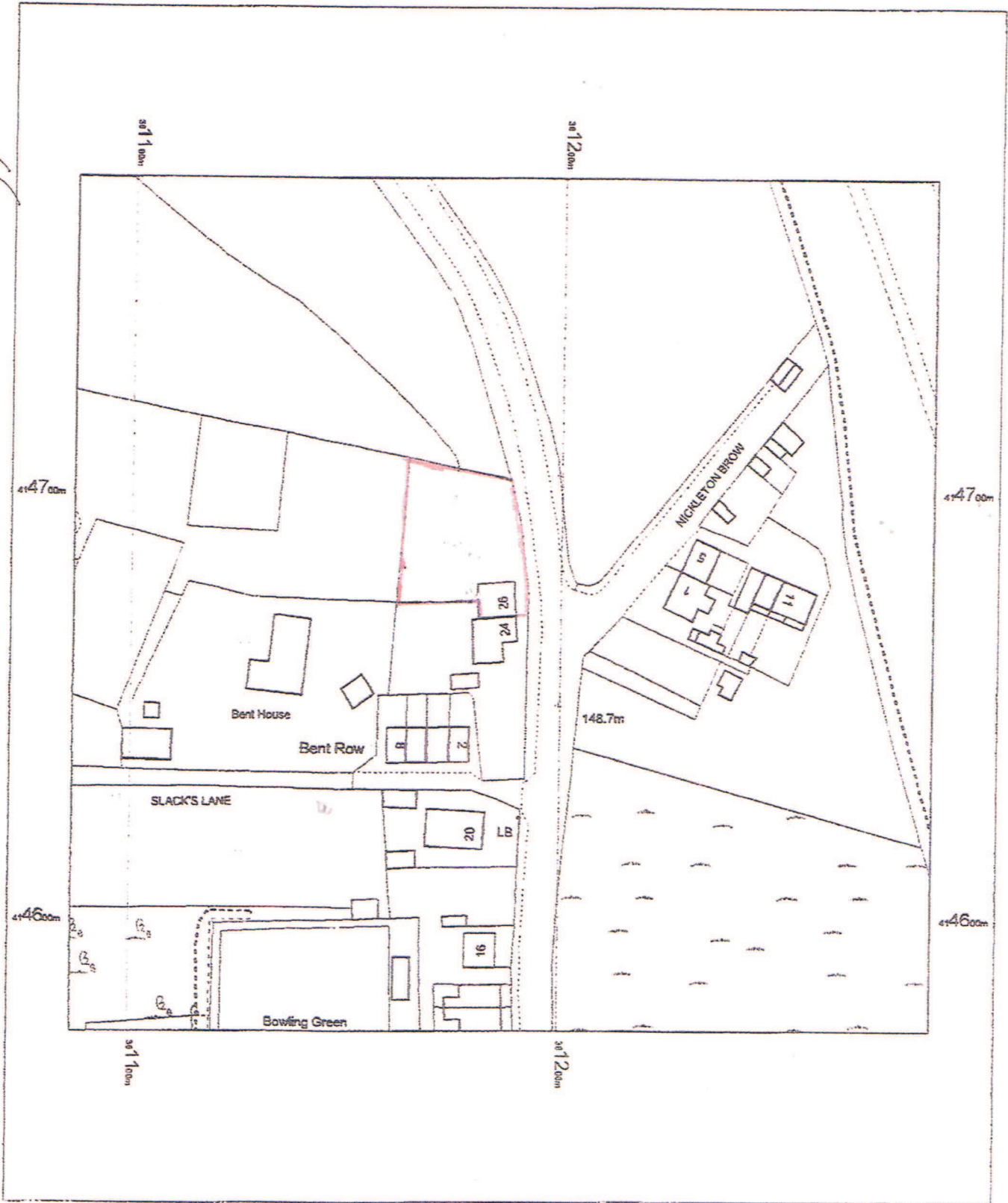
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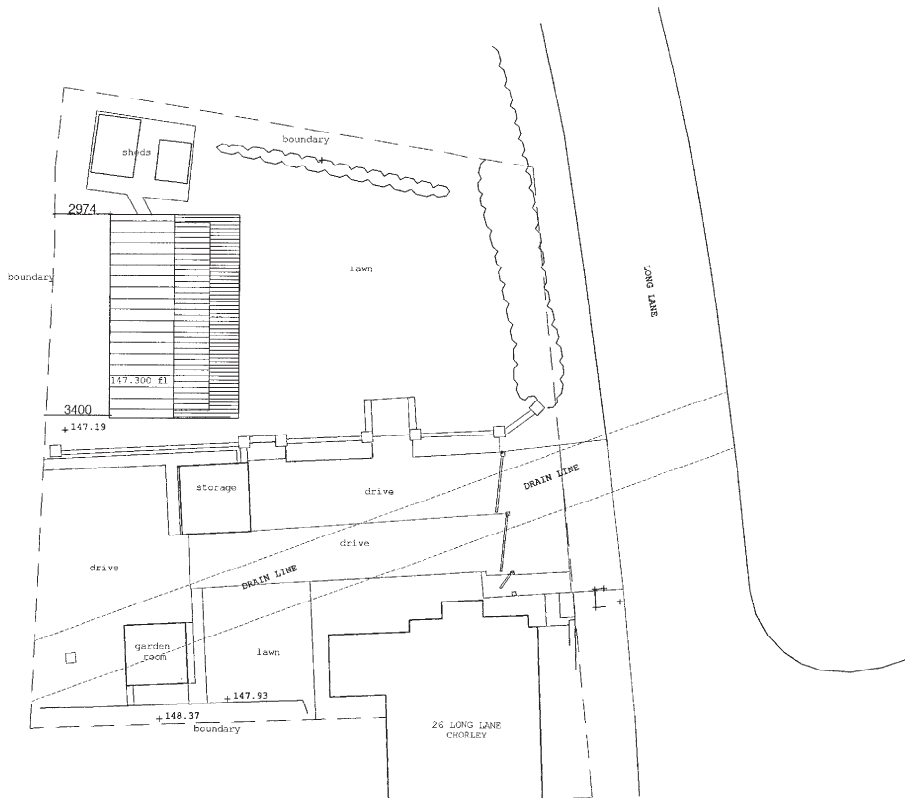
26 Long Lane
 Heath Charnock
 PR6 9EN

OS Mastermap
 25 June 2013, ID: BW1-00238916
www.blackwellmapping.co.uk
 1:1250 scale print at A4, Centre: 361187 E, 414575 N
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maps.liverpool@blackwell.co.uk

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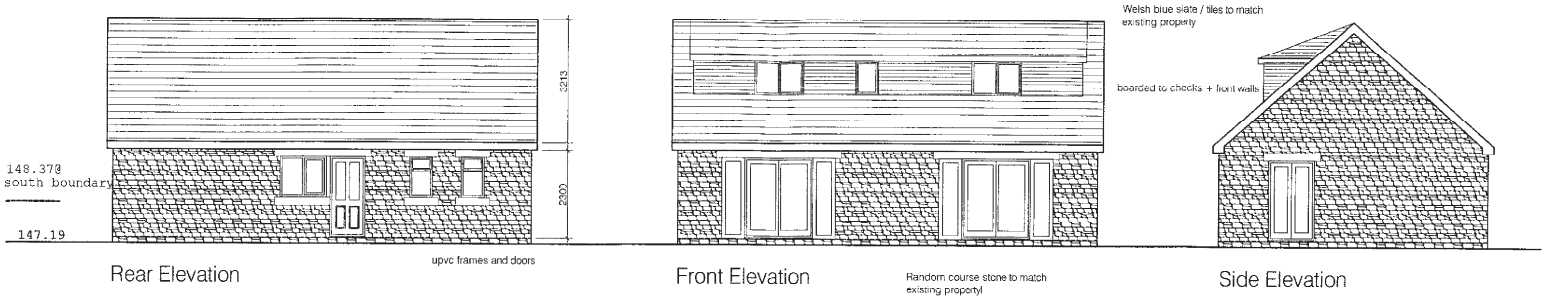


13/00681/PL
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 08 JUL 2013
 DCP/AN

TITLE	DATE	ADDRESS
Site Plan	24th June 2013	26 Wish Cottage Long Lane Heath Charnock
PROPOSAL	SCALE	
Ancillary Living Accommodation	1:200	



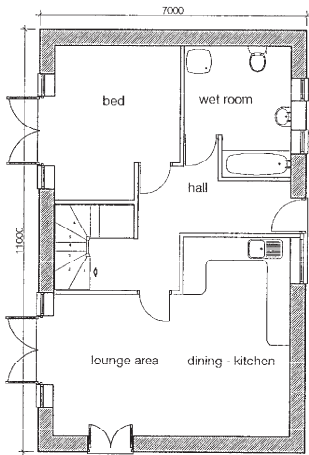
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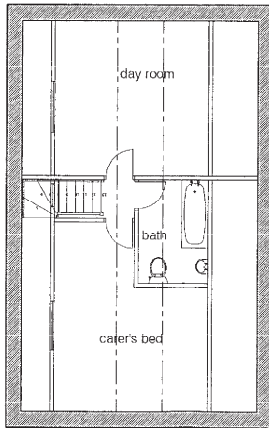
Rear Elevation

Front Elevation

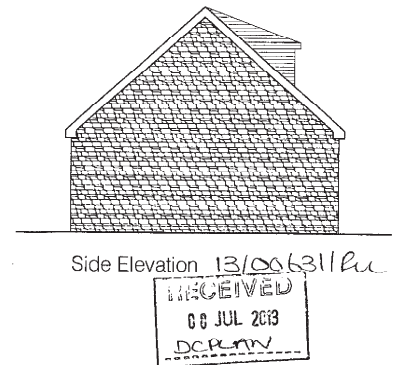
Side Elevation



Ground Floor



First Floor



Side Elevation 13/006311/ku

TITLE <i>Planning Drawing</i>	DATE <i>24th June 2013</i>	ADDRESS <i>26 Wish Cottage Long Lane Heath Charnock</i>
PROPOSAL <i>Ancillary Living Accommodation</i>	SCALE <i>1:100</i>	

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21 October 2013
(1:30 PM)
BY FRENCH COUNCIL
STATION SERVICES
3 JUL 2013

BUCKSHAW VILLAGE - 1:1250 LOCATION PLAN

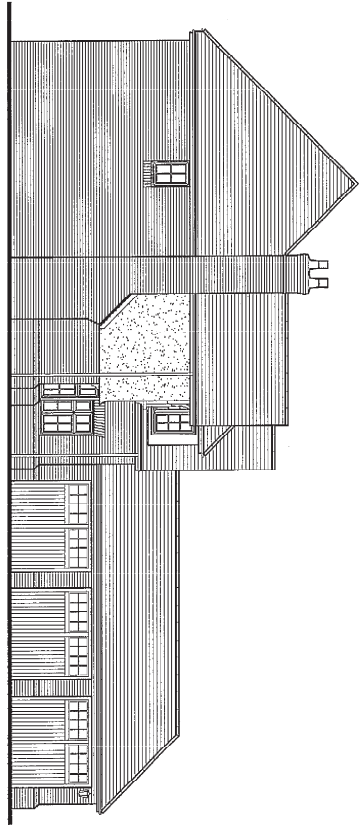


Notes: 1. All buildings are shown in their current location. 2. All buildings are shown in their current location.

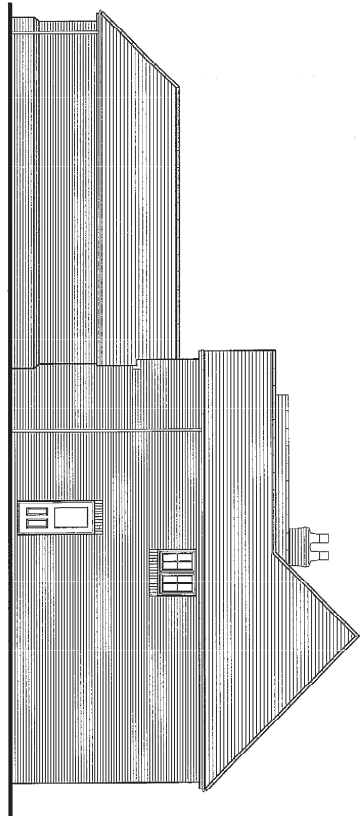
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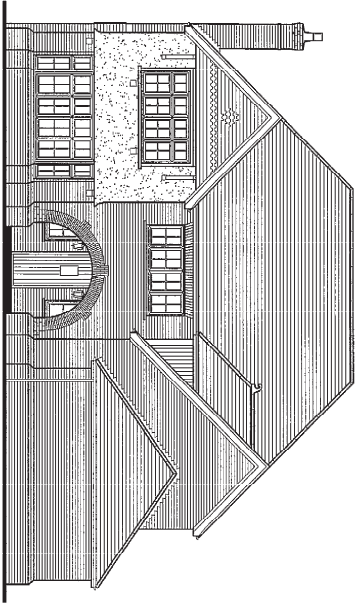
Side Elevation



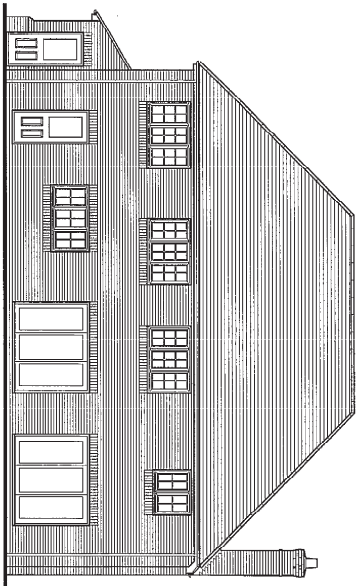
Side Elevation



Front Elevation



Rear Elevation



Sandingham
Alt

Elevations
The New Heritage
Collection

D Series
Plot 55 (D5H248) 2483sqft. 230.82m²
DATE: January 2013
REV: -

Drawing made 11:00 @ 42

131006087248
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03 JUL 2013
DCC/PMV

REDROW
GROUP SERVICES LTD
SHEPHERD WALK
SHEPHERD WALK
SHEPHERD WALK

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